

Mayor
MICHAEL G. MCGINTY

Deputy Mayor
JOSEPH M. ANNARELLA

Trustees
IRENE P. NAUDUS
BARBARA A. VOLPE-RIED
MICHAEL GAGLIARDI



Village Office
127 LONG BEACH ROAD
ISLAND PARK, NEW YORK 11558
Tel: 431-0600 • Fax: 431-0436

Village Clerk
CONSTANCE L. CONROY

Corporation Counsel
SUSAN B. BOLAND

Deputy Corporation Counsel
CHRISTIAN P. BROWNE

Treasurer
MARISA A. SILVIO

**Request for Proposals
for
Management of the
FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the
Village of Island Park Fire House Building
including
Design, Construction Drawings, and On-Site Project
Supervision**

Request for Proposal Issue Date:	April 29, 2019
On-Site Visit:	May 7, 2019 at 10:00 a.m.
Technical Questions Due:	May 14, 2019 at 4:00 p.m.
Technical Response Issued:	May 23, 2019
Proposal Due Date:	June 3, 2019 at 11:00 a.m.

Contact Information:
Constance L. Conroy, Village Clerk
Tel: 516-431-0600
Fax: 516-431-0436
Email: clconroy@villageofislandpark.com

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

TABLE OF CONTENTS

LEGAL NOTICE

INSTRUCTIONS TO BIDDERS

I.	Introduction and Overview.....	3
II.	Project Description.....	5
III.	Deadlines and Completion Date.....	5
IV.	Scope of Services.....	5
V.	Submittal Content.....	7
VI.	Selection Process.....	9
VII.	Specific Legal Obligations.....	10
VIII.	New York Law and Venue.....	11
IX.	New York Sexual Harassment Policy.....	12

SCHEDULE A	DEADLINE SCHEDULE
SCHEDULE B	INSURANCE REQUIREMENTS
SCHEDULE C	COST PROPOSAL
SCHEDULE D	CONTRACTORS QUALIFICATION STATEMENT
SCHEDULE E	NON-COLLUSION AFFIDAVIT OF PRIME BIDDER
SCHEDULE F	REQUIRED DISCLOSURE OF RELATIONSHIP TO VILLAGE
SCHEDULE G	AFFIDAVIT OF SEXUAL HARASSMENT POLICY
SCHEDULE H	FEMA Hazard Mitigation Plan (HMP) for the Fire House Building
SCHEDULE I	FIRE HOUSE SURVEY
SCHEDULE J	NATIONAL FLOOD HAZARD FIRM MAP
SCHEDULE K	DFE DETERMINATION
SCHEDULE L	ELEVATION CERTIFICATE

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

LEGAL NOTICE

INCORPORATED VILLAGE OF ISLAND PARK

PUBLIC NOTICE TO BIDDERS

PLEASE TAKE NOTICE THAT sealed proposals will be received from authorized individuals or entities by the Incorporated Village of Island Park on Monday, June 3, 2019 at 11:00 a.m. prevailing time at the Village Hall, 127 Long Beach Road, Island Park, New York at which time they will be publicly opened and read and the contract awarded as soon thereafter as practicable for:

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017 Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building including Design, Construction Drawings, and on-site Project Supervision.

The Scope of Work Package will be available at the Office of the Village Clerk at Village Hall, 127 Long Beach Road, on or after Monday, April 29, 2019 between the hours of 9:00 a.m. and 4:30 p.m. prevailing time, Monday through Friday, except on holidays. All proposals must be upon forms furnished by the Village, and such documents submitted in any other form shall be subject to rejection.

All sealed Request for Proposals must be in before opening date and time and can be mailed or delivered to Village Clerk, Village of Island Park, 127 Long Beach Road, Island Park, New York 11558.

The Village encourages vendors/suppliers that are certified as a Minority or Women Owned Business Enterprise to participate in our bidding process.

The Mayor and Board of Trustees reserve the right to reject any and all proposals.

BY ORDER OF THE MAYOR AND BOARD OF TRUSTEES

of the Incorporated Village of Island Park, New York.

Constance L. Conroy

Village Clerk

Dated: April 24, 2019

Island Park, New York

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

I. Introduction and Overview

Procurement shall only be conducted with a responsible Contractor registered to conduct business in the State of New York, that has the technical competence as well as an exemplary record of integrity. Before selecting a Contractor, the Village of Island Park intends to review the federal and state lists of vendors excluded from procurement. Contracts shall not be awarded to debarred, suspended or ineligible vendors. Accordingly, responses to RFPs must include a completed NYS Vendor Responsibility Questionnaire and notarized certification, along with verification that a completed NYS Vendor Responsibility Questionnaire has been filed with the NYS Office of the State Comptroller: <http://www.osc.state.ny.us/vendrep/>.

In accordance with New York State General Municipal Law Section 104-b, this Request for Proposal (RFP) is designed to identify Contractors that have extensive experience with project management, design and construction that employ adequate staff to be able to focus attention and support to the priorities of the Village. Respondents will be reviewed based on their ability to provide services in a manner sensitive to specific requirements and timetables established by the Inc. Village of Island Park.

A Contractor will be chosen based on a scoring system. Through its Evaluation Team, the Inc. Village of Island Park will select the Respondent whose proposal receives the greatest number of points. The Evaluation Team will only open or evaluate Cost Proposals from those firms that it has determined are qualified on the basis of Specifications and the Technical Factors listed below. A detailed description of the scoring system may be found in the "Selection Process" section of this document. After those firms that are qualified have been identified, the Evaluation Team will factor in the cost of the qualified proposals using the formula set forth below under "Selection Process." **The COST PROPOSAL is included as SCHEDULE C.**

Each bidder submitting a Bid Proposal to the Inc. Village of Island Park for the Scope of Work in the bid documents, on which bidding is based, shall execute and attach thereto an affidavit substantially in the form herein provided, **NON-COLLUSION AFFIDAVIT OF PRIME BIDDER, SCHEDULE E**, to the effect that they have not colluded with any person, firm, or corporation in regard to any bid submitted. Additionally, execute and submit with the proposal **SCHEDULE F, REQUIRED DISCLOSURE OF RELATIONSHIP TO VILLAGE.**

Respondents will not be reimbursed for costs incurred in the preparation of the proposal. Failure to comply with any of the following instructions shall constitute cause for which the bid may be rejected.

Sealed Proposals will be received by the Village Clerk of the Inc. Village of Island Park, 127 Long Beach Road, Island Park until 11:00 AM on June 3, 2019 at which time they shall be publically opened and read aloud and the Contract awarded as soon thereafter as may be practicable. It is the sole responsibility of the Bidder to see that his Proposal is received in the proper time. Any Proposal received after the scheduled closing time for receipt of Proposals shall be returned to the Bidder unopened.

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

No oral requests for information, clarification or interpretation will be honored. All such requests should be submitted to the Village Clerk in writing according to **SCHEDULE A - DEADLINE SCHEDULE**. All replies to such requests will be made in the form of an Addendum and will be sent to each prospective bidder who received initial copies of the Bid Package and Specifications.

Should additional work be required other than the items specified in the Bid Documents and for which no unit price has been bid, same shall be executed at the price agreed upon in writing and approved by the Village.

Each Proposal shall be submitted in a Sealed Envelope bearing the Title of the Work and the Name of the Bidder. The Proposal shall include a sum to cover the cost of all items included in the Bid Documents and shall be identified by the Name of the Person, Firm or Corporation, with the authorized signature thereto.

Each Bidder must submit with their Proposal a CONTRACTORS QUALIFICATION STATEMENT including their organization and financial status along with a CERTIFICATE OF CONTRACTORS QUALIFICATION as of the date of their Proposal. The Required Forms are included in this package, **SCHEDULE D**.

Before submitting a Proposal, all Bidders shall carefully examine the specifications and other Bid Documents, shall become fully informed of the conditions and limitations associated with fulfilling the requirements of the Proposal.

No plea of ignorance or misunderstanding of conditions that exist or that may hereafter exist, or of conditions or difficulties that may be encountered in the execution of the work under this Request for Proposals as a result of failure to make the necessary examinations and investigations as may be expected of a responsible Bidder, will be accepted as an excuse for any failure or omission on the part of a Bidder to fulfill in every detail all of the requirements of the Bid Documents, or will be accepted as a basis for any claims whatsoever for extra compensation, or an extension of time.

The Bidder must be capable of performing all of the work required under this Request for Proposals with his own resources.

The Bidder whose Proposal has been accepted will be required to appear at the Office of the Village Clerk and execute the Contract within thirty (30) days from the date of service of the Notification of Award, delivered to him in person or mailed to the address given in the Proposal, stating that the Contract has been awarded to him.

The successful Bidder, prior to the execution of the Contract, will be required to furnish Workers Compensation, Commercial General Liability, Automobile Insurance, Umbrella Liability and Indemnification/Hold Harmless Agreement as outlined in the following document titled Insurance Requirements for Independent Contractors/Sub-Contractors, INSURANCE REQUIREMENTS, SCHEDULE B.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

In case of failure to execute the Contract (including the required Insurance, Indemnification/Hold Harmless Agreement and Contractors Qualification Statement along with the Certificate of Contractor's Qualification Statement) within the time frame stated, the Bidder shall be deemed to have abandoned the Contract.

The successful Bidder will commence work on the date to be ordered by the Contract as the date of such commencement and shall fully complete the work within the number of consecutive calendar days from said date herein after as the period for completion of this Contract.

The Village reserves the right to award a Contract resulting from this solicitation based on the evaluation criteria set forth in the Request for Proposal and to reject any and all bids and to award the Contract to the Bidder who best serves the interest of the Inc. Village of Island Park.

II. Project Description

The Incorporated Village of Island Park is soliciting sealed proposals from qualified Contractors for the Management of the FEMA Hazard Mitigation Plan (HMP) for the Fire House Building including Design, Construction Drawings, and On-Site Project Supervision as outlined in the Scope of Services section of this Request for Proposal.

III. Deadlines and Completion Date

The Insurance Requirements and Contractors Qualification Statement along with the Cost Proposal must be delivered in separate envelopes to the Inc. Village of Island Park in accordance with **SCHEDULE A, DEADLINE SCHEDULE**. Proposals are due on Monday, June 3, 2019 at 11:00 a.m. Any questions relative to the RFP must be received electronically by the Inc. Village of Island Park no later than 4:00 p.m. on May 14, 2019. The Inc. Village of Island Park will then compile the questions into a single document for the responses and distribution to all respondents by May 23, 2019. The Inc. Village of Island Park reserves the right to extend receipt of submissions beyond June 3, 2019.

IV. Scope of Services

The Inc. Village of Island Park is seeking proposals from Contractors that have extensive experience with project management including design, preparation of construction drawings, and on-site supervision. The FEMA Hazard Mitigation Plan specifications can be found in **SCHEDULE H FEMA HAZARD MITIGATION PLAN (HMP) FOR THE FIRE HOUSE BUILDING**.

Experience Requirement:

The Village is requiring documentation that the Contractor has a minimum of five years experience in the field of project management, with extensive design, preparation of construction drawings, and on-site supervision. The Village is requesting a list of five (5) references of local completed projects.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

Additional Services:

The successful Contractor may receive additional assignments from the Village for related services. In the event such additional services are required, it is understood the fees for such services will be at the same rates contained in the proposal and in effect at the time of such request. A statement to that effect must be included in the proposer's submission.

Other Requirements:

All submitted proposals must be typewritten in hardcopy and signed by a member of the proposing Contractor duly authorized to execute contracts on behalf of the firm. Certification shall be included stating that the firm is properly licensed to conduct business operations in the State of New York.

Termination:

The Village reserves the right to terminate this agreement. However, prior to taking such action, the Village shall notify the firm in writing no less than 30 days prior to termination.

More specifically, the Village reserves the right to terminate this contract in the event it is found that the certification filed by the Contractor in accordance with New York State Executive Order Number 127 or State Finance Law Section 139 was intentionally false or intentionally incomplete. Upon such finding, the Village may exercise its termination right by providing written notification to the contractor.

The Village reserves the right to postpone, delay, suspend, or abandon all or any part of an assignment with seven (7) days written notice. In the event of a termination or abandonment, the Contractor shall deliver to the Village all reports and other data and records pertaining to the RFP and the Village shall pay to the firm all reasonable amounts earned up to the effective date of such termination or abandonment. Except as expressly provided in the previous sentence, such termination, postponement, delay, suspension, or abandonment shall not give rise to any claim or cause of action against the Village for damages, extra compensation, or for losses of anticipated profits.

Note that all submissions must include an acknowledgement that the Proposer has examined and accepts all the requirements under this RFP, including all appendices, forms, and attachments. Include a statement of capability in performing the work to achieve the objectives of the Village, and that it will accept these terms and conditions unless exceptions are specified in the Proposer's submission.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

Rights and Prerogatives:

The Village reserves the right to exercise the following prerogatives:

1. To accept or reject any or all proposals.
2. To correct any mathematical errors in the proposals.
3. To adopt as the Village property, all submitted proposals and to use any portions thereafter unless specifically noted as proprietary by the submitting firms.
4. To change proposal due dates.
5. To accept or reject any of the Contractor's employees assigned to this relationship and to require their replacement at any time.
6. To modify the Request for Proposal (RFP) at any time before the award is made, if such action is in the best interest of the Village.
7. This contract is not assignable and the use of a subcontractor is prohibited without the written approval of the Village.

The Village reserves the right to meet with selected proposers prior to the designation of a best qualified proposer, to accept or reject any proposal, to enter into negotiations with any of the proposers designated best qualified in order to determine satisfactory terms and conditions of a final contract, and to end such negotiations, at its discretion, and to designate and commence negotiations with an alternative best qualified proposer.

V. Submittal Content

Upon review of the Project requirements, the prospective contractor must submit a fixed fee for the project management, design, construction drawings, and on-site supervision for completion of the Fire House Building Hazard Mitigation Plan (HMP). The respondent must supply one (1) original and five (5) copies of its submission to the attention of Constance L. Conroy, Village Clerk, no later than 11:00 am on June 3, 2019.

Constance L. Conroy
Village Clerk
Inc. Village of Island Park
127 Long Beach Road
Island Park, New York 11558
clconroy@villageofislandpark.com

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

The Proposal must contain the following information and documentation:

- **Firm.** Respondent's legal structure, length of time in business, number of employees and detailed contact information for the person authorized to contractually obligate the Respondent and for the person administratively responsible for the Proposal.
- **Subconsultants.** Identify any Subconsultants, including a summary of the organization, experience and technical skills. Respondent shall not employ, contract with, or use the services of any consultant for the work of this Contract (except such third parties which may be used by the Respondent in the normal course of business, such as couriers, imaging services, etc.) without obtaining the prior written approval of the Inc. Village of Island Park.
- **Disclosure.** Disclose all allegations or claims of substandard work, unethical or illegal practices or debarment or suspension from State- or Federally-funded projects, and provide documentation as to the resolution of these matters. Respondent must not be suspended or debarred from participation in State- or Federally-funded projects. Include completed NYS Vendor Responsibility Questionnaire, with notarized certification. <http://www.osc.state.ny.us/vendrep/>.
- **Relevant Experience.** Previous projects that demonstrate relevant experience and identify public sector clients for whom Respondent has provided similar work in the past five years. For each project described, provide current contact information for the individual with whom Respondent worked.
- **Ability to Conform to Village's Timeline.** Describe firm's workload and the impact on its current capacity to perform services, and describe specifically how the firm will comply with the required delivery schedule set forth in SCHEDULE A.
- **Iran Divestment Act.** Respondent must attach a signed statement on company letterhead that is affirmed as true under penalty of perjury.
- **Costs.** Complete the Cost Proposal - SCHEDULE C, by providing the price for providing the specified services. The Cost Proposal must be included in a separate sealed envelope.

Attachments, Resumes, and material helpful to the technical evaluation, may also be attached (short project descriptions, brochures).

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

VI. Selection Process

Proposals responsive to the requirements of this RFP will be evaluated and scored in accordance with the Evaluation Criteria. After evaluation of the specifications and the technical factors, the Cost Proposals will be scored for cost.

During or after the review of responses, the Inc. Village of Island Park may submit written questions and requests for clarification, and may conduct interviews. Respondents must comply with the **DEADLINE SCHEDULE - SCHEDULE A**, which may be adjusted if necessary.

The Inc. Village of Island Park shall evaluate each respondent in terms of:

	<i><u>Maximum Points</u></i>
Total: Specifications and Technical Factors	80
Total: Cost Factors	20
Maximum Points	100

The Inc. Village of Island Park's Evaluation Team will conduct a technical evaluation of the non-cost elements as described in the RFP prior to opening the Cost Proposals. No more than 80 Specifications and Technical Factors total points will be awarded to any proposal.

Each proposal will be evaluated by the Village according to, but not limited to, the following factors which may not necessarily be in order of importance. Experience of the contractor staff, performance with other similar clients, and current client list with the same governmental reporting requirements. The Village reserves the right to incorporate other evaluation criteria which, in its judgment, are necessary for selecting the best proposal. The Cost Proposal will remain sealed until completion of the technical evaluation, and will only be considered for the best qualified firms. No more than 20 points will be awarded to any Respondent.

The Village will weigh the Specifications and Technical Factors and cost evaluation results of each submittal as two components, which together will have a maximum total score of 100 points.

After evaluation of selected Specifications and Technical Factors and Cost Proposals, the Village reserves the right to award without delay. The Village will issue a Letter of Intent to Award and a Notice to Proceed when all aspects meet the criteria of the RFP and accepted by the Village.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

VII. Specific Legal Obligations

a. Procurement

In accordance with Section 104-b(2)(f) and Section 139-j(2)(a), the Inc. Village of Island Park must identify the individual responsible for purchasing and the individual who is the sole point of contact during the procurement. Constance L. Conroy, Village Clerk for the Inc. Village of Island Park, will be the RFP Coordinator.

In accordance with State Finance Law § 139-j and 139-k, this RFP imposes restrictions on communications between the Inc. Village of Island Park, NY and Respondents during the procurement. Respondent is restricted from making contact from the earliest notice of intent to solicit offers through final award and approval of the contract (the restricted period) with Subrecipient's staff other than the RFP Coordinator, unless it is a contact included among expressly provided statutory exceptions set forth in State Finance Law § 139-j(3)(a).

The Inc. Village of Island Park employees also are required to obtain certain information when contacted during the restricted period and make a determination of responsibility of the Respondent pursuant to these two statutes. Certain findings of non-responsibility can result in the rejection for contract award and in the event of two (2) findings within a four-year period the Respondent is debarred from obtaining governmental procurement contracts.

b. Diversity and Income Requirements

Minority and Women Owned Businesses (M/WBE)

The Inc. Village of island Park is committed to awarding a contract(s) to firms that will provide high quality services and that are dedicated to diversity and to containing costs.

The Inc. Village of Island Park strongly encourages Respondents that are certified by New York State, any other city or state, or the federal government, as M/WBE firms, as well as Respondents that are not yet certified but have applied for certification, to submit responses to this RFP.

All New York State-certified M/WBE firms submitting proposals to this RFP should be registered as such with the New York State Department of Economic Development. For M/WBE firms that are not certified but have applied for certification, Respondents must provide evidence of filing including filing date.

The Inc. Village of Island Park is required to implement the provisions of New York State Executive Law Article 15-A and 5 NYCRR Parts 142-144 (M/WBE Regulations) for all New York State funded contracts as defined therein, with a value in excess of \$25,000.

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

c. **Participation Opportunities For New York State Certified Service-Disabled Veteran-Owned Businesses (SDVOB)**

Article 17-B of the New York State Executive Law provides for more meaningful participation in public procurement by certified Service-Disabled Veteran-Owned Businesses (“SDVOBs”), thereby further integrating such businesses into New York State’s economy. The Inc. Village of Island Park recognizes the need to promote the employment of service-disabled veterans and to ensure that certified service-disabled veteran-owned businesses have opportunities for maximum feasible participation in the performance of Village of Island Park contracts.

In recognition of the service and sacrifices made by service-disabled veterans and in recognition of their economic activity in doing business in New York State, Bidders/Contractors are strongly encouraged and expected to consider SDVOBs in the fulfillment of the requirements of the Contract. Such participation may be as subcontractors or suppliers, as protégés, or in other partnering or supporting roles.

For purposes of this procurement, the Village of Island Park conducted a comprehensive search and determined that the Contract does not offer sufficient opportunities to set specific goals for participation by SDVOBs as subcontractors, service providers, and suppliers to Contractor. Nevertheless, the Bidder/Contractor is encouraged to make good faith efforts to promote and assist in the participation of SDVOBs on the Contract for the provision of services and materials. The directory of New York State Certified SDVOBs can be viewed at: <https://ogs.ny.gov/veterans/> Bidder/Contractor is encouraged to contact the Office of General Services’ Division of Service-Disabled Veteran’s Business Development at 518-474-2015 or VeteransDevelopment@ogs.ny.gov to discuss methods of maximizing participation by SDVOBs on the Contract.

d. **Iran Divestment Act**

Every Proposal made to the Inc. Village of Island Park pursuant to a competitive solicitation must contain the following statement, signed by the Respondent on company letterhead and affirmed as true under penalty of perjury:

"By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of its knowledge and belief that each bidder is not on the list created pursuant to paragraph (b) of subdivision 3 of section 165-a of the State Finance Law."

No Response that fails to certify compliance with this requirement may be accepted as responsive.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

INSTRUCTIONS TO BIDDERS

VIII. New York Law and Venue

This contract shall be construed under the laws of the State of New York. All claims, actions, proceedings, and lawsuits brought in connection with, arising out of, related to, or seeking enforcement of this contract shall be brought in the Supreme Court of the State of New York, Nassau County.

IX. New York Sexual Harassment Policy

The Inc. Village of Island Park is committed to maintaining a workplace free from sexual harassment. Sexual harassment is a form of workplace discrimination and is unlawful under federal, state, and (where applicable) local law. Sexual harassment includes harassment on the basis of sex, sexual orientation, self-identified or perceived sex, gender expression, gender identity and the status of being transgender.

The Village's Policy applies to all employees, applicants for employment, paid or unpaid interns, and all non-employees¹ working in the workplace, contractors and persons conducting business, regardless of immigration status, with the Village. This Policy is one component of the Village's commitment to a discrimination-free work environment.

Retaliation Prohibition: No person covered by the Village's Policy shall be subject to adverse action because the employee/non-employee reports an incident of sexual harassment, provides information, or otherwise assists in any investigation of a sexual harassment complaint. The Village will not tolerate such retaliation against anyone who, in good faith, reports or provides information about suspected sexual harassment. All employees, paid or unpaid interns, or non-employees² working in the workplace who believe they have been subject to such retaliation should inform a supervisor, manager, or the Village Clerk.

Complete the **AFFIDAVIT OF SEXUAL HARASSMENT POLICY - SCHEDULE G**, by providing your name, title, company, and notarize the document for submission along with the Cost Proposal Package to the Village.

¹ A non-employee is someone who is (or is employed by) a contractor, subcontractor, vendor, consultant, or anyone providing services in the workplace. Protected non-employees include persons commonly referred to as independent contractors, "gig" workers and temporary workers. Also included are persons providing equipment repair, cleaning services or any other services provided pursuant to a contract with the employer.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE A

DEADLINE SCHEDULE

A.	Date for Publication of Notice	April 27, 2019
B.	Date RFP Package Available	April 29, 2019
C.	Date for On-Site Visit	May 7, 2019 at 10:00 a.m.
D.	Date for Questions from Respondents	May 14, 2019 at 4:00 p.m.
E.	Date for Response to Respondents' Questions	May 23, 2019
F.	Date for Submission of Proposals	June 3, 2019 at 11:00am
G.	Date for Evaluation of Proposals	June 14, 2019
H.	Date for Award of RFP	June 20, 2019
I.	Date for Issuance of Notice of Award	June 25, 2019
J.	Date for review of Draft Contract	July 2, 2019
K.	Date for Execution of Contract	July 9, 2019

The Inc. Village of Island Park reserves the right to modify the Deadline Schedule as necessary.

Changes to the Deadline Schedule will be forwarded to all respondents.

Changes to the Deadline Schedule will also be published at www.villageofislandpark.com.

Respondent is responsible for meeting all deadlines.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE B

INSURANCE REQUIREMENTS FOR INDEPENDENT CONTRACTORS/SUB-CONTRACTORS

Page One of Three

The independent contractor shall maintain at a minimum the following insurance giving evidence of same to Incorporated Village of Island park on **the form of Certificates of Insurance, copies of the General Liability Declaration Page and copy of the Additional Insured Endorsement, providing 30 days notice of cancellation, non-renewal or material change.** New York State licensed carrier is preferred; any non-licensed carriers will be accepted at the Municipalities discretion. The insurance carrier must have an A.M. Best Rating of at least A- IX. All subcontractors must adhere to the same insurance requirements.

I. Workers Compensation and NYS Disability

Coverage	Statutory
Extensions	Voluntary Compensation; All States Coverage Employers Liability - Unlimited

II. Commercial General Liability/Contractors Pollution Liability/Contractors Errors & Omissions Liability

Coverage and Limits	Occurrence Form	
	General Aggregate	\$2,000,000
	Products & Completed Operations	\$2,000,000
	Personal & Advertising Injury	\$1,000,000
	Per Occurrence Limit	\$1,000,000
	Fire Damage	\$ 50,000
	Medical Expense	\$ 5,000

Additional Insured	Incorporated Village of Island Park, all elected and appointed officials, employees and volunteers using ISO Form CG2010 (B) or equivalent including Products and Completed Operations CG2037.
--------------------	---

Extensions – Mandatory*

Aggregate Limits to apply per project.

- Contractual Liability extending to Hold Harmless
- Endorsement showing that this policy is considered primary and non-contributory.
- Waiver of Subrogation in favor of the additional insured.
- Completed Operations coverage for a minimum of 6 Years
- Deductible not to exceed \$5,000 per occurrence
- Coverage for the services rendered for the municipality, including, but not limited to mechanical, electrical, plumbing, installation of flood barriers, along with any related tasks, including coverage for third party liability claims for bodily injury, and property damage.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE B

INSURANCE REQUIREMENTS FOR INDEPENDENT CONTRACTORS/SUB-CONTRACTORS

Page Two of Three

- | | | |
|------|---------------------------------------|---|
| III. | <u>Automobile Insurance</u>
Limit | \$1,000,000. Combined Single Limit |
| | Additional Insured | Incorporated Village of Island Park, all elected and appointed officials, employees and volunteers. |
| IV. | <u>Umbrella Liability</u>
Coverage | Umbrella Form or Excess Follow Form of Commercial General Liability/Contractors Pollution Liability/Contractors Errors & Omissions Liability and Auto Liability |
| | Minimum Limit | \$5,000,000. |
| | Additional Insured | Incorporated Village of Island Park, all elected and appointed officials, employees and volunteers. |
| V. | <u>BONDS</u>
Bid Bond | Minimum of 5% of contract bid. |
| | Bond Form | AIA Document A310 Current Edition. |
| | Final Bonds | 1. Performance and Payment bonds (labor & materials)
Minimum Limit 100% of Contract Price

2. Maintenance Bond
Minimum Limit 100 % of Performance and Payment Bond
Term - 2 Years from Acceptance of Job |
| | Bond Form | AIA Document A311 current edition. |

NOTE: Surety Company must be NYS licensed and on current list of "Surety Companies Acceptable on Federal Bonds" as published in Federal Register by the Audit Staff Bureau of Accounts, US Treasury Department

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE B

INSURANCE REQUIREMENTS FOR INDEPENDENT CONTRACTORS/SUB-CONTRACTORS

Page Three of Three

INDEMNIFICATION/HOLD HARMLESS AGREEMENT

The Vendor/Contractor shall indemnify and hold harmless the Incorporated Village of Island Park, its officers, employees, and/or agents from any and all liability, damage, loss, claims, demands and actions of any nature whatsoever, for any reason whatsoever, foreseeable or unforeseeable, which arises out of or is connected with, or is claimed to arise out of to be connected with, any undertaking, product, goods, merchandise, products, services sold and/or work supplied, furnished or performed by the Vendor/Contractor or its subcontractors, agents, servants, or employees, including without limiting the generality of the forgoing, all liability, damages, loss, claims, attorneys, court and adjusting fees, demands and actions on account of personal injury, death or property loss to the Incorporated Village of Island Park its officers, employees, agents or to any other persons, third parties, or property, but shall not include claims resulting from the gross negligence or willful misconduct of the Incorporated Village of Island Park. This indemnity and hold harmless is intended to be as broad as is permitted by law and to include claims of every kind and nature – for tort, under contract; for strict liability or other liability without fault; under statute, rule, regulation or order; and otherwise.

IN WITNESS WHEREOF, the undersigned has duly executed this Agreement the ___ day of _____, 20__.

Name of Firm

Address

Contractor's Signature

(Please Print Name and Title)

Witness:

Signature

Date

Print Name

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE C

COST PROPOSAL

Page 1 of 2

The Incorporated Village of Island Park is seeking Proposals for the Management of the FEMA Hazard Mitigation Plan (HMP) for the Fire House Building including Design, Construction Drawings, and On-Site Project Supervision.

Bidder: _____

Date: _____

The undersigned, as bidder, hereby declares that the only person or persons interested in this proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud. The bidder further declares that he has examined the site of the work and the contract documents relative thereto, and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed.

The Bidder proposes and agrees if this proposal is accepted to contract with the Incorporated Village of Island Park in the form of contract specified below, for the Management of the FEMA Hazard Mitigation Plan (HMP) for the Fire House Building including Design, Construction Drawings, and On-Site Project Supervision including all the necessary materials, equipment, and labor necessary to complete the project in accordance with the RFP and contract documents, to the full and entire satisfaction of the Incorporated Village of Island Park.

The Incorporated Village of Island Park is seeking Proposals for the Management of the FEMA Hazard Mitigation Plan (HMP) for the Fire House Building including Design, Construction Drawings, and On-Site Project Supervision.

Base Bid:

_____ Dollars (\$)

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE C

COST PROPOSAL

Page 2 of 2

Cost Proposal Signature Page

The undersigned further agrees that in the case of failure on his part to execute the said contract within thirty (30) consecutive calendar days after being given written Notice of the Award of Contract, the bidder shall be deemed to have abandoned the Contract.

Respectfully submitted this day by: _____ Date: _____

(Name of firm or corporation making bid)

WITNESS:

By: _____
Signature

(Proprietorship or Partnership) Name: _____
Print or type

Title _____
(Owner/Partner/Pres./V.Pres)

Address _____

ATTEST:

By: _____ License No. _____

Title: _____ Federal I.D. No. _____
(Corp. Sec. or Asst. Sec. only)

Email Address: _____

(CORPORATE SEAL)

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE D

CONTRACTORS QUALIFICATION STATEMENT

Page 1 of 6

The signatory of this questionnaire certifies under oath the truth and correctness of all statements and all answers to interrogatories made.

SUBMITTED TO: Village Clerk
Village of Island Park, Nassau County, New York

SUBMITTED BY: _____

PRINCIPAL OFFICE: _____

Name and Addresses of Owners, Corporate Officers, Partners, Etc.

PRINCIPAL OFFICERS

PRESIDENT:

Name Address Background Profession or Trade

VICE PRESIDENT:

Name Address Background Profession or Trade

SECRETARY:

Name Address Background Profession or Trade

TREASURER:

Name Address Background Profession or Trade

The Contractor is (Check one of the following):

___ Sub-chapter "S" Corporation

___ Public Corporation

___ Closely Held Corporation

___ Individually Owner Business

The Contractor's Federal Employer Identification Number

is: _____

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE D

CONTRACTORS QUALIFICATION STATEMENT

Page 2 of 6

List Stockholders

(Not required if publicly held, however disclosure is required if more than 10% of the
Stock is held by one person.)

NAME

ADDRESS

1.

2.

3.

4.

Individual Ownership or Partnership (List all Names and Addresses)

NAME

ADDRESSES

1.

2.

3.

4.

**NOTE: Failure to supply above information prior to, or at bid opening will cause an
informational bid that will be disqualified.**

Persons or firms submitting bids must be engaged in the lines of work required in these
specifications, or shall be able to refer to work of similar character performed by them.
Bidders must present satisfactory evidence of experience, ability and financial standing,
and also a statement as to their plant and machinery.

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE D

CONTRACTORS QUALIFICATION STATEMENT

Page 3 of 6

1. Your organization has been in business as a General Contractor under its present business name for _____ years.

2. You normally perform _____ % of the work with your forces.

List the Trades below:

3. Have you ever failed to complete any work awarded to you?

If so, note where and why. _____

4. List the major construction projects your organization has under construction at on this date.

<u>Project</u>	<u>Owner</u>	<u>Engineer</u>	<u>Contract Amount</u>	<u>Percent Complete</u>	<u>Scheduled Completion</u>
A.	_____	_____	_____	_____	_____
B.	_____	_____	_____	_____	_____
C.	_____	_____	_____	_____	_____
D.	_____	_____	_____	_____	_____
E.	_____	_____	_____	_____	_____

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE D

CONTRACTORS QUALIFICATION STATEMENT

Page 4 of 6

5. List five major projects your organization has completed in the past five years.

<u>Project</u>	<u>Owner</u>	<u>Engineer</u>	<u>Contract Amount</u>	<u>Date of Completion</u>	<u>Work Done With Own Forces % of Work Trades</u>
A.	_____				
B.	_____				
C.	_____				
D.	_____				
E.	_____				

6. List the contraction experience of the principal individual of your organization (particularly the anticipated Project Supervisors).

<u>Individual's Name</u>	<u>Present Position or Office</u>	<u>Years of Experience</u>	<u>Type of work for which Responsible</u>	<u>In What Capacity</u>
A.	_____			
B.	_____			
C.	_____			
D.	_____			

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE D

CONTRACTORS QUALIFICATION STATEMENT

Page 5 of 6

7. Itemized list of Bidder's major plant and equipment

A. _____

B. _____

C. _____

D. _____

E. _____

8. Bank References

A. _____

B. _____

9. Trade Association Membership

A. _____

B. _____

C. _____

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE D

CONTRACTORS QUALIFICATION STATEMENT
Page 6 of 6

CERTIFICATION OF CONTRACTORS QUALIFICATION STATEMENT

I certify that (our) (my) qualifications statement dated _____, as on file
with the Village Clerk, Inc. Village of Island Park, is current and that it reflects (our) (my)
organization, operations, and financial status as of this

_____ day of _____;

with the following exceptions:

STATE OF:

COUNTY OF:

M _____ being duly sworn deposes and says that he/she
is the

_____ of _____ Contractor and that
answers to the foregoing and all statements therein contained are true and correct.

Sworn before me this _____ day of _____ 20_____

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE E

NON-COLLUSIVE AFFIDAVIT OF PRIME BIDDER

Page 1 of 2

Required by Section 103-D of the General Municipal Law

State of New York)

) SS:

County of Nassau)

- _____ , being first duly sworn, deposes and says that:
1. He is _____ of _____, the Bidder that has submitted the attached bid: _____.
 2. He is fully informed respecting the preparation and contents of the attached bid and of all pertinent circumstances respecting such bid:
 3. Such bid is genuine and is not a collusive or sham bid;
 4. Neither the said bidder or any of its officers, partners, Villages, agents, representatives, employees, or parties in interest including this affiant, has in any way conducted, conspired, connived or agreed, directly or indirectly, with any other bidder, firm, or person to submit a collusive or sham bid in connection with the Contract for which the attached bid has been submitted or to refrain from bidding in connection with such Contract, or has in any manner directly or indirectly, sought by agreement or collusion or communication or conferences with any other bidder, firm, or person to fix the price or prices in the attached bid or of any other bidder, or, to fix any overhead, profit or cost element of the bid price or the bid price of any other bidder, or to secure through any collusion, conspiracy, connivance or unlawful agreement any advantage against the Village or any person interested in the proposed Contract; and
 5. The price or prices quoted in the attached bid are fair and proper and are not tainted by any collusion, conspiracy, connivance, or unlawful agreement on the part of the bidder or any of its agents, representatives, Villages, employees, or parties in interest, including the affiant.
 6. By submission of this bid or proposal the bidder certifies that:
 - A) This bid or proposal has been independently arrived at without collusion with any other bidder or with an competitor or potential competitor.
 - B) This bid or proposal has not been knowingly disclosed and will not be knowingly disclosed, prior to the opening of bids or proposals for this project, to any other bidder, competitor or potential competitor.
 - C) No attempt has been or will be made to induce any other person, partnership or corporation to submit or not to submit a bid or proposal:
 - D) The person signing this bid or proposal certifies that he has fully informed himself regarding the accuracy of the statement contained in this certification, and under the penalties or perjury, affirms the truth thereof: such penalties being applicable to the Bidder as well as to the person signing in its behalf:

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE E

NON-COLLUSIVE AFFIDAVIT OF PRIME BIDDER

Page 2 of 2

E) That attached hereto (if a corporate bidder) is a certified copy of resolution authorizing the execution of this certificate by the signatory of this bid or proposal in behalf of the corporate bidder.

Signed: _____

Title: _____

Subscribed and Sworn to before me

This _____ day of _____, 20__

I certify that (our) (my) qualifications statement dated _____, as on file with the Village Clerk, Inc. Village of Island Park, is current and that it reflects (our) (my) organization, operations, and financial status as of this

_____ day of _____;

with the following exceptions:

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE F

REQUIRED DISCLOSURE OF RELATIONSHIP TO VILLAGE
Page 1 of 2

Contract Name: Management of the FEMA Hazard Mitigation Plan (HMP) for the Fire House Building including Design, Construction Drawings, and On-Site Project Supervision.

Name and Address of Contractor:

Federal TIN: _____

Related Employees:

Are any of the employees that you will use to carry out this contract with the Village also an official, officer, employee, or member of any board or commission of the Village, or the spouse, child, or dependent of such Village official, officer, employee, board or commission member?

Related Owners, Officers, and Directors:

Are any owners, officers, or directors of your firm also an official, officer, employee, or member of any board or commission of the Village, or the spouse, child, or dependent of such Village official, officer, employee, board or commission member?

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE F

REQUIRED DISCLOSURE OF RELATIONSHIP TO VILLAGE

Page 2 of 2

Interest in Contract:

To answer the following question, the definition of the word “interest” shall mean a direct or indirect pecuniary or material benefit accruing to a Village official, officer, employee, or member of any board or commission of the Village, or the spouse, child, or dependent of such Village official, officer, employee, board or commission member, whether as the result of a contract with the Village or otherwise.

For purposes of this question, a Village official, officer, employee, or member of any board or commission shall be deemed to have an “interest” in a firm or a subcontractor of a firm when the Village official, officer, employee, board or commission member, or the spouse, child, or dependent of such Village official, officer, employee, board or commission member:

Has a contract with the firm or a subcontractor of the firm; and/or,

Is an officer, director, member, or employee of the firm; and/or,

Is an officer, director, member, or employee of a subcontractor of the firm; and/or,

Owens more than five (5%) percent of the outstanding capital stock of the firm or a subcontractor of the firm.

Does any Village official, officer, employee, board or commission member, or the spouse, child, or dependent of any Village official, officer, employee, board or commission member have an interest in the firm or in any subcontractor that will be used by the firm for this contract?

Signed: _____

Title: _____

Subscribed and Sworn to before me

This _____ day of _____, 20__

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE G

AFFIDAVIT OF SEXUAL HARASSMENT POLICY

Required by Section 201-g of the New York Labor Law

State of New York)

) SS:

County of Nassau)

_____, being first duly sworn, deposes and says that:

He is _____ of _____, the Bidder that has submitted
the attached bid: _____.

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and
in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that
the bidder has and has implemented a written policy addressing sexual harassment prevention in the workplace
and provides annual sexual harassment prevention training to all of its employees.

Such policy shall, at a minimum, meet the requirements of section two hundred one-g of the labor law.

Signed: _____

Title: _____

Sworn to before me this

_____ day of _____, 2018

Notary Public

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE H

**FEMA HAZARD MITIGATION PLAN (HMP)
FOR THE FIRE HOUSE BUILDING**

Page 1 of 3

FACILITY

Island Park Fire House; 440 Long Beach Rd., Island Park, NY 11558
Flood Zone/Base Flood Elevation: AE8
FEMA Flood Insurance Rate Map No. 36059CO307G (09.11.09): AE/EL 8.0' NAVD 88
Design Flood Elevation (DFE): 12.0' NAVD88 0.2% Flood elevation
Grade elevation: 8.0' NAVD88

DAMAGE DESCRIPTION

During the Incident Period (10/27/12-11/8/12) Hurricane Sandy caused heavy winds & rains. Approximately 3.0' foot storm surge resulted in flood waters entering the facility. Mechanical, electrical, & architectural features were severely damaged or destroyed. Building contents, equipment, vehicles, and contaminated contents of the underground fuel storage tank were also damaged. Hurricane-force winds damaged the roof of the facility.

MITIGATION

The Fire House is a critical facility, and in accordance to 44 CFR 9.4, it is required to meet the 0.2% annual probable flood elevation (500 year). The proposed mitigation shall meet Federal, State, and Local regulations to prevent future damage from similar events. The facility will be protected through a series of dry floodproofing & elevation measures as follows:

Architectural:

1. Elevate boiler to a location to be determined that meets federal, state, and local regulation and that may include a galvanized stainless-steel stand. Coordination will be necessary with another on-going project at the Fire House Building.
2. Design and install a flood barrier system to meet federal, state, and local regulations at the Fire House building that includes various size rollup doors (4), pedestrian doors (3), and windows (13). Coordination will be necessary with another on-going project at the Fire House Building.
3. Install water stop flashing and caulk around all exterior doors, windows and wall openings.
4. Raise vent stack for underground fuel-storage tank.
5. Provide storage container/trailer for flood barriers.

Plumbing:

1. Provide backflow protector for existing floor drain system.
2. Provide sump pump system.

Consultant to provide recommendations for storm hardening and other measures that are not specifically provided above.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE H

**FEMA HAZARD MITIGATION PLAN (HMP)
FOR THE FIRE HOUSE BUILDING**

Page 2 of 3

COMPLIANCE AND ASSURANCES

General:

1. Attendance at two coordinated meetings scheduled with the Village and the professional working on another on-going project at the Fire House Building.
2. Preparation of 50% and 90% design drawings for the Village's review and approval.
3. The Village will submit the 100% design drawings to FEMA and local building officials for approval before commencing construction.
4. The final design must be certified by a registered Professional Engineer/Architect as per the Code of Federal Regulations (CFR) 44 Section 60.3.
5. Must provide and maintain competent and adequate engineering design and supervision during the construction phase to ensure that the completed work conforms to the approved plans and specifications and all applicable material and construction standards.
6. The final design and choice of contractors and vendors are the responsibility of the Village.
7. Prepare and maintain a Flood Emergency Operations Manual and Inspection/Maintenance Plan.

Dry Floodproofing:

Coordination will be necessary with another on-going project at the Fire House Building including design and specifications of materials,

1. Provide a dry floodproofing certificate (FEMA Forms 086-0-34 & 2012b) signed and sealed by a design professional certifying post construction and must be submitted to FEMA for closeout as well as to the local Floodplain Administrator to certify the project is designed in accordance with NFIP Technical Bulletin 3-93.
2. For preparation of the dry floodproofing certification for the flood and/or open barriers, consider use of a consensus standard for certifying the equipment, such as ANSI/FM Approval Standard 2510.
3. Provide size/cut sheets for all flood barrier brackets. Paint brackets to match the masonry it is fastened to.
4. Prior to installation of backwater preventer valve, confirm existing system is rated for pressure and will withstand new loads.
5. Prior to initiation of work, an engineering study must be conducted by a licensed design professional to ensure the dry floodproofing measures shall achieve the required level of protection and not compromise the existing structure.
6. For preparation of the dry floodproofing certification for projects that include temporary flood barriers, consider use of a consensus standard for certifying the equipment, such as FM Approval Standard 2510.

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE H

**FEMA HAZARD MITIGATION PLAN (HMP)
FOR THE FIRE HOUSE BUILDING**

Page 3 of 3

Emergency Plans and Inspecting:

Provide a Flood Emergency Operations Plan and an Inspection/Maintenance Plan for the flood wall at all locations (FEMA Technical Bulletin 3-93 & AASCE 24-05 Section 6.2.3).

The Flood Emergency Operations Plan contains:

1. A chain of command and assigns responsibilities for implementing the emergency protective measures including descriptive instructions.
2. Establishes flood monitoring and implementation criteria.
3. Delineates notification procedures, evacuation criteria and instructions.
4. Provides periodic training and testing requirements.
5. Establishes a schedule for routine inspections and plan updates.

The Maintenance Plan contains the following:

1. Gaskets and mounts for flood shields.
2. Pumps and sump pumps.
3. Backflow or shutoff valves.
4. Inventory and location of flood emergency equipment required to complete the floodwall.
5. Periodic maintenance requirements.
6. Maintains sealants around doors, windows, and wall openings.

Codes and Standards:

1. Coordination will be necessary with another on-going project at the Fire House Building.
2. The contractor is responsible for the determination of and compliance with applicable federal, state, and local requirements, codes, standards and specifications in connection with this project, including but not limited to, CFR 44 and ASCE/SEI 24.
3. The contractor is responsible for receiving all applicable permits and approvals prior to construction.
4. For additional guidance see Local and NYS State Floodplain Management Regulations Sections 500.8, 500.11(c)(5)(i) and 500.11(c)(5)(ii).

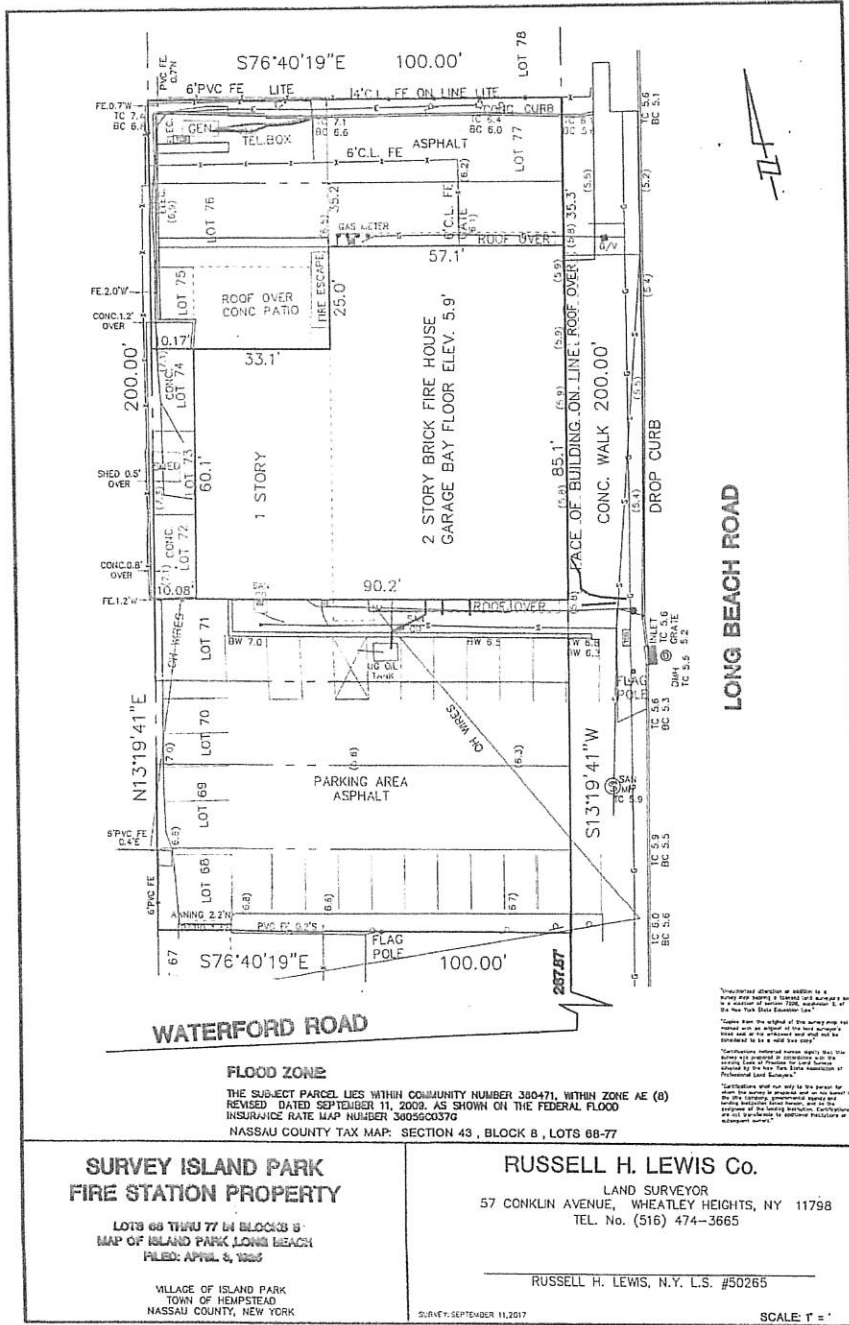
Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE I

FIRE HOUSE SURVEY



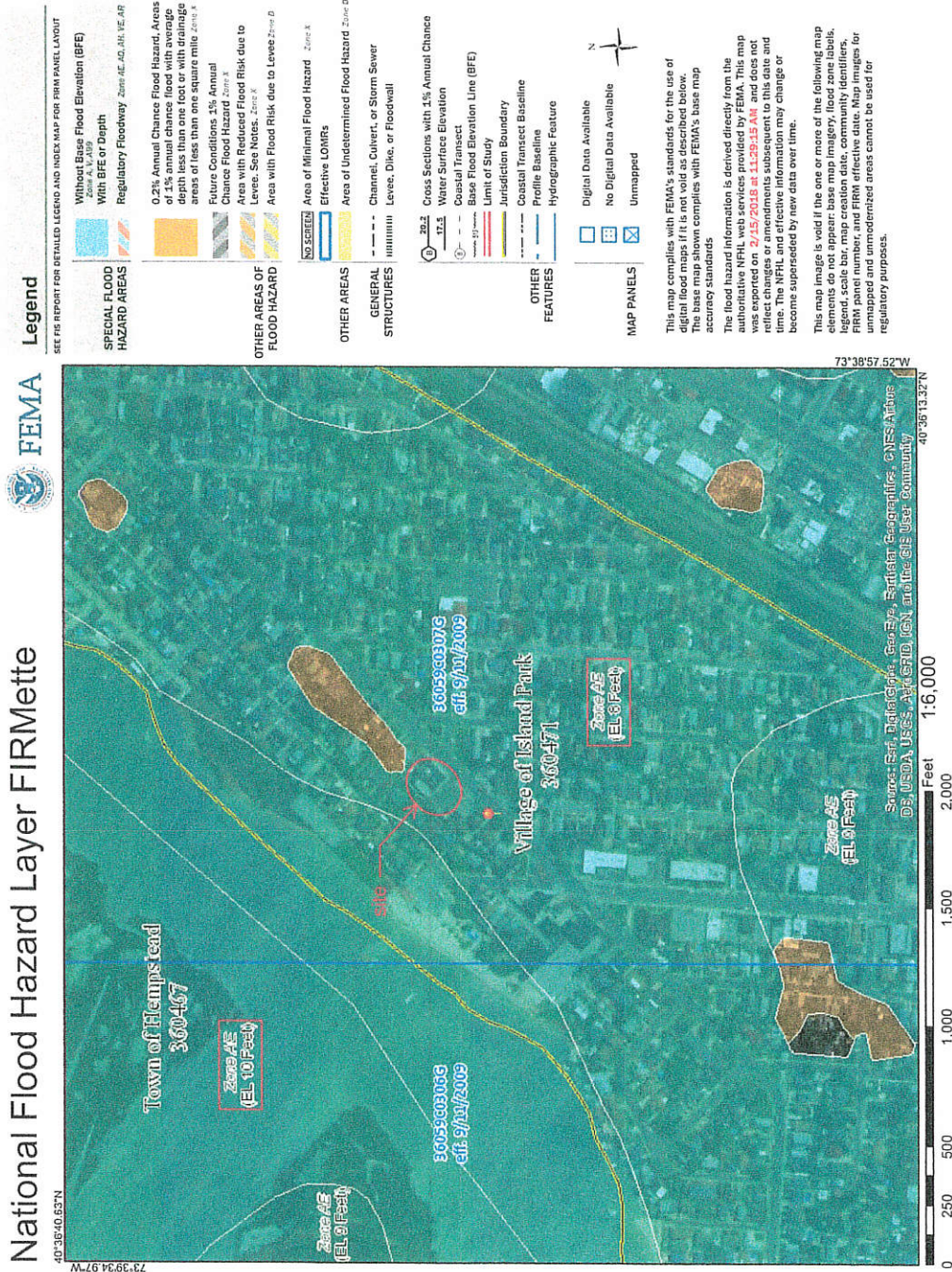
Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE J

NATIONAL FLOOD HAZARD FIRM MAP



Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE K

DFE DETERMINATION

Page 1 of 2

Mayor
MICHAEL G. MCGINTY

Deputy Mayor
JOSEPH M. ANNARELLA

Trustees
IRENE P. NAUDUS
BARBARA A. VOLPE-RIED
MICHAEL GAGLIARDI



Village Office
127 LONG BEACH ROAD
ISLAND PARK, NEW YORK 11558
Tel: 431-0800 • Fax: 431-0436

Village Clerk
CONSTANCE L. CONROY

Corporation Counsel
SUSAN B. BOLAND

Deputy Corporation Counsel
CHRISTIAN P. BROWNE

Treasurer
MARISA A. DEJESUS

MEMO

To: Mayor Michael McGinty

From: Building Inspector Doug Groth, C.F.M.

November 6, 2018

RE: ISLAND PARK FIREHOUSE STORM RESILIENCY PROJECT

Mayor McGinty,

I have reviewed the GOSR project scope and would like to bring to your attention a few of my concerns regarding the proposed elevations.

According to ENVIRONMENTAL REVIEW – for community development block grant-disaster recovery (CDBG-DR) funded projects in the NY Rising Community Reconstruction Program pg.7, "...critical equipment should be designed to be placed at the best available base flood elevation plus three feet, the highest of the Sandy, Irene, or Lee high water mark plus two feet, or the 500 year flood elevation, whichever is highest." Those elevations (in NAVD88), using the most accurate data to my knowledge, are as follows:

- B.F.E.(AE 8') + 3' = 11'
- Sandy high water mark¹[10.89 NGVD29(roughly 9.7' NAVD88)] + 2' = 11.7'
- 500 year flood elevation = 9.7'

¹ Data from USGS Hog Channel on 10/29/2012

Incorporated Village of Island Park
County of Nassau, New York

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE K

DFE DETERMINATION

Page 2 of 2

Mayor
MICHAEL G. MCGINTY

Deputy Mayor
JOSEPH M. ANNARELLA

Trustees
IRENE P. NAUDUS
BARBARA A. VOLPE-RIED
MICHAEL GAGLIARDI



Village Office
127 LONG BEACH ROAD
ISLAND PARK, NEW YORK 11558
Tel: 431-0600 • Fax: 431-0436

Village Clerk
CONSTANCE L. CONROY

Corporation Counsel
SUSAN B. BOLAND

Deputy Corporation Counsel
CHRISTIAN P. BROWNE

Treasurer
MARISA A. DEJESUS

The FEMA program requires that the structure be floodproofed to a Design Flood Elevation of 9.7' (500 year flood elevation). This is a less resilient option, when compared to the CDBG-DR required elevations. Also, upon initial review, it appears that the FEMA program requirement would not meet New York State Building Code or Island Park Code because FEMA doesn't address the New York State REQUIRED additional 2' of freeboard.

As per IRC R322.1.4.1.1 "Freeboard requirements for building design and construction.", 2 feet of freeboard is to be added onto all requirements of ASCE 24-14 and NYS Building Code. ASCE 24-14 requirements for dry-floodproofing a Flood Design Class 4 structure, such as a firehouse, are "BFE + 2 ft or DFE, or 500-year flood elevation, whichever is higher". Therefore, the allowable elevation for dry floodproofing of the Island Park Firehouse would be as follows:

- $B.F.E. (AE\ 8') + 2'(NYS\ freeboard) + 2' = 12'$ *

Upon initial review, the FEMA programs elevation requirement appears to be less stringent, and less resilient, than the GOSR Program's, New York State's, and the Village of Island Park's elevation requirement. If you have any questions or concerns, please don't hesitate to contact me at your convenience. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Doug Groth", is written over a horizontal line.

Doug Groth, C.F.M.

Building Inspector

Incorporated Village of Island Park

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE L

ELEVATION CERTIFICATE

Page 1 of 6

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB No. 1660-0008 Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name VILLAGE OF ISLAND PARK				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 440 LONG BEACH ROAD				Company NAIC Number:	
City ISLAND PARK		State New York		ZIP Code 11558	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) NASSAU COUNTY TAX MAP PARCEL # SECTION 43 BLOCK 8 LOTS 68 THRU 77					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENCE</u>					
A5. Latitude/Longitude: Lat. <u>N:40.6069</u> Long. <u>W: 73.6540</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>3,444</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number ISLAND PARK, VILLAGE OF # 360471			B2. County Name NASSAU		B3. State New York
B4. Map/Panel Number 36059C0307	B5. Suffix G	B6. FIRM Index Date 09/11/2009	B7. FIRM Panel Effective/ Revised Date 09/11/2009	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 8
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE L

ELEVATION CERTIFICATE

Page 2 of 6

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE			FOR INSURANCE COMPANY USE	
IMPORTANT: In these spaces, copy the corresponding information from Section A.			Policy Number:	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 440 LONG BEACH ROAD			Company NAIC Number	
City ISLAND PARK	State New York	ZIP Code 11558		
SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)				
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.				
C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, ARIA, ARIA/E, ARIA1–A30, ARIA/H, ARIA/O. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: <u>NASSAU CO. BM 25 J11</u> Vertical Datum: <u>USCGS CONV. TO NAVD 1988</u>				
Indicate elevation datum used for the elevations in items a) through h) below. <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____				
Datum used for building elevations must be the same as that used for the BFE.				
Check the measurement used.				
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	6.2	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
b) Top of the next higher floor	20.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
c) Bottom of the lowest horizontal structural member (V Zones only)	.	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
d) Attached garage (top of slab)	5.9	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	6.3	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
f) Lowest adjacent (finished) grade next to building (LAG)	5.8	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
g) Highest adjacent (finished) grade next to building (HAG)	7.2	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	6.5	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION				
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.				
Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Check here if attachments.				
Certifier's Name RUSSELL H. LEWIS L.S.		License Number N.Y.L.S.# 050265		
Title LAND SURVEYOR				
Company Name RUSSELL H. LEWIS Co.				
Address 57 CONKLIN AVENUE				
City WHEATLEY HEIGHTS	State New York	ZIP Code 11798		
Signature 	Date 09/21/2017	Telephone (516) 474-3665		
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.				
Comments (including type of equipment and location, per C2(e), if applicable) THE BUILDING IS A BRICK FIREHOUSE. THE GARAGE BAY FLOOR ELEVATION IS 5.9'. THE LOWER LEVEL FLOOR IS 6.2'. THE BOILER ROOM IS LOCATED ON THE LOWER FLOOR THE BOTTOM OF THE BOILER (LOWEST MACHINERY) IS 6.3'.				

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE L

ELEVATION CERTIFICATE

Page 3 of 6

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 440 LONG BEACH ROAD			Policy Number:
City ISLAND PARK	State New York	ZIP Code 11558	Company NAIC Number
SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)			
For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.			
E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).			
a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the LAG.			
E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E3. Attached garage (top of slab) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E4. Top of platform of machinery and/or equipment servicing the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.			
E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown. The local official must certify this information in Section G.			
SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION			
The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.			
Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			
<input type="checkbox"/> Check here if attachments.			

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE L

ELEVATION CERTIFICATE

Page 4 of 6

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 440 LONG BEACH ROAD		Policy Number:
City ISLAND PARK	State New York	ZIP Code 11558
Company NAIC Number		
SECTION G – COMMUNITY INFORMATION (OPTIONAL)		
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.		
<p>G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)</p> <p>G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.</p> <p>G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.</p>		
G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
<p>G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement</p> <p>G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p>		
Local Official's Name		Title
Community Name		Telephone
Signature		Date
Comments (including type of equipment and location, per C2(e), if applicable)		
<input type="checkbox"/> Check here if attachments.		

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE L

ELEVATION CERTIFICATE

Page 5 of 6

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 440 LONG BEACH ROAD			Policy Number:
City ISLAND PARK	State New York	ZIP Code 11558	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption SOUTH SIDE

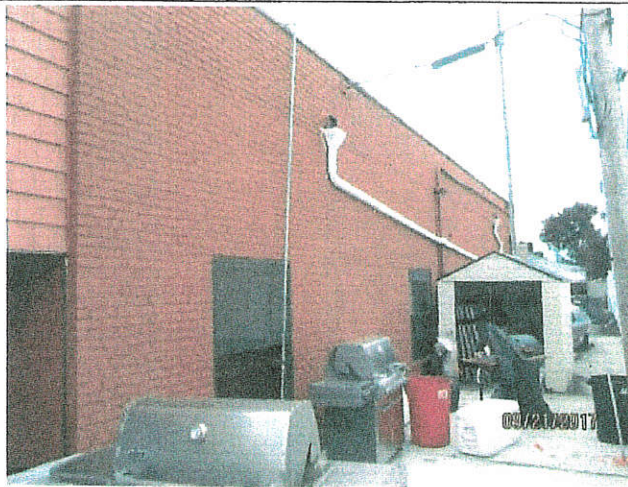


Photo Two

Photo Two Caption REAR VIEW

**Incorporated Village of Island Park
County of Nassau, New York**

REQUEST FOR PROPOSALS

Management of the FEMA PW 4429 (v0) Rev. 08/29/2017
Hazard Mitigation Plan (HMP) for the Village of Island Park Fire House Building
including Design, Construction Drawings,
and On-Site Project Supervision

SCHEDULE L

ELEVATION CERTIFICATE

Page 6 of 6

ELEVATION CERTIFICATE		BUILDING PHOTOGRAPHS Continuation Page	OMB No. 1660-0008 Expiration Date: November 30, 2018
IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 440 LONG BEACH ROAD		Policy Number:	
City ISLAND PARK	State New York	ZIP Code 11558	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section AB.



Photo One

Photo One Caption NORTHSIDE FROM REAR



Photo Two

Photo Two Caption FRONT VIEW